STRUCTURAL SAFETY INSPECTION REPORT FORM

Inspection Firm or Individual Name: Property Consulting Gro	up, Inc	S	
Address: 405 S Federal Highway, Suite 300, Pompand	Beac	h, FL 33062	
Telephone Number: (954) 946-7763			WIE WE
	n Comple	eted Date: 12/13/2	2024
X No Repairs Required Repairs are Required as O			
Florida Licensed Professional: X Engineer	Archit	ect JON	NATAN A
Name: Jonnatan Mendez		7:1/18	25 76858 E
License Number: 76858		0 87	ATE .
[×]	No	THE STONE	AL ENGINEERS
This report has been based upon the minimum inspection guidelines for buildi	ng safety		
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and ab present condition of the structure based upon careful evaluation of observed conditions.	ng safety lity, this re	inspection as listed in port represents an acc	urate appraisal of the
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and ab present condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE	ng safety lity, this re litions to th	inspection as listed in port represents an acc ne extent reasonably po	urate appraisal of the essible.
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Building	ng safety lity, this re litions to th	inspection as listed in port represents an acc ne extent reasonably po	urate appraisal of the essible.
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Bub. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442	ng safety lity, this re litions to th	inspection as listed in port represents an accine extent reasonably port. th 56 Units (Application	urate appraisal of the essible.
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Bub. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442 c. Legal Description: Lyndhurst H Condo Unit 1001 PER CE	ng safety lity, this re litions to th uilding wi	inspection as listed in port represents an accine extent reasonably port. th 56 Units (Application	urate appraisal of the essible.
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Bub. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442 c. Legal Description: Lyndhurst H Condo Unit 1001 PER CD	ng safety lity, this re litions to th uilding wi	inspection as listed in port represents an accident extent reasonably point to 56 Units (Application 1997).	urate appraisal of the ossible. ation #: 1026122)
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Bub. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442 c. Legal Description: Lyndhurst H Condo Unit 1001 PER CD. d. Owner's Name: Lyndhurst H Condominium Association, e. Owner's Mailing Address: 2101 Centrepark West Dr., Suite	ng safety lity, this re litions to the uilding wi 2 DO BK/ Inc.	inspection as listed in port represents an accident extent reasonably point to 56 Units (Application 1997).	th, FL 33409
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Bub. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442 c. Legal Description: Lyndhurst H Condo Unit 1001 PER CD. d. Owner's Name: Lyndhurst H Condominium Association, e. Owner's Mailing Address: 2101 Centrepark West Dr., Suite	ng safety lity, this re litions to the uilding wi 2 OO BK/ Inc. 110, W	inspection as listed in port represents an accordence extent reasonably point for the 56 Units (Application 1997). PG: 5907/1	th, FL 33409
This report has been based upon the minimum inspection guidelines for building Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed conditions. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Building. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442 c. Legal Description: Lyndhurst H Condo Unit 1001 PER CD d. Owner's Name: Lyndhurst H Condominium Association, e. Owner's Mailing Address: 2101 Centrepark West Dr., Suite f. Email Address: lyndhurst.h@yahoo.com g. Folio Number of Property on which building is located: 4842-03-DH-04	ng safety lity, this re litions to the uilding wi 2 OO BK/ Inc. 110, W	inspection as listed in port represents an accordence extent reasonably point for the 56 Units (Application 1997). PG: 5907/1	th, FL 33409
This report has been based upon the minimum inspection guidelines for buildi Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed cond. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Bub. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442 c. Legal Description: Lyndhurst H Condo Unit 1001 PER CD. d. Owner's Name: Lyndhurst H Condominium Association, e. Owner's Mailing Address: 2101 Centrepark West Dr., Suite f. Email Address: lyndhurst.h@yahoo.com g. Folio Number of Property on which building is located: 4842-03-DH-06	ng safety lity, this re litions to the uilding wi 2 OO BK/ Inc. 110, W	inspection as listed in port represents an accordence extent reasonably point for the 56 Units (Application 1997). PG: 5907/1	th, FL 33409
This report has been based upon the minimum inspection guidelines for building Board of Rules and Appeals Policy #05-05. To the best of my knowledge and about present condition of the structure based upon careful evaluation of observed conditions. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Building. b. Street Address: Lyndhurst H, Deerfield Beach, FL 33442 c. Legal Description: Lyndhurst H Condo Unit 1001 PER CD d. Owner's Name: Lyndhurst H Condominium Association, e. Owner's Mailing Address: 2101 Centrepark West Dr., Suite f. Email Address: lyndhurst.h@yahoo.com g. Folio Number of Property on which building is located: 4842-03-DH-04 h. Building Code Occupancy Classification: Residential Group R-2 i. Present Use: Residential	ng safety lity, this re litions to the uilding wi 2 OO BK/ Inc. 110, W	inspection as listed in port represents an accine extent reasonably port the 56 Units (Applicated PG: 5907/1	urate appraisal of the ossible. ation #: 1026122)
This report has been based upon the minimum inspection guidelines for building Board of Rules and Appeals Policy #05-05. To the best of my knowledge and abspresent condition of the structure based upon careful evaluation of observed conditions. 1. DESCRIPTION OF STRUCTURE a. Name on Title: Four Story Residential Condominium Apartment Building Street Address: Lyndhurst H, Deerfield Beach, FL 33442. c. Legal Description: Lyndhurst H Condo Unit 1001 PER CD. d. Owner's Name: Lyndhurst H Condominium Association, e. Owner's Mailing Address: 2101 Centrepark West Dr., Suite f. Email Address: lyndhurst.h@yahoo.com g. Folio Number of Property on which building is located: 4842-03-DH-04. h. Building Code Occupancy Classification: Residential Group R-2 i. Present Use: Residential j. General Description: Four Story Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Control of Property Residential Condominium Building Type of Control of Property Residential Condominium Residenti	ng safety lity, this re litions to the lilding wi 2 DO BK/ Inc. 110, W Contact Nu	inspection as listed in port represents an accine extent reasonably port the 56 Units (Applicated PG: 5907/1 Vest Palm Beacomber: (647) 409-18	urate appraisal of the ossible. ation #: 1026122)

m. Special Features:			
None			
n. Describe any Additions to the Origi	nal Structure:		
No additions to original struct			
A 1 127 1 2 4			
o. Additional Comments: None			
None			
2. PRESENT CONDITION OF STR	UCTURE		
		is a	
a. General Alignment (Note: God	od, Fair, Poor, Explain if Sigr	nificant):	=
1. Bulging:	X Good Fair	Poor	Significant (Explain):
	V	. 🗀 - 🖪	7
2. Settlement:	X Good Fa	air Poor L	Significant (Explain):
3. Deflections:	X Good Fai	r Poor	Significant (Explain):
4. Expansion:	X Good Fai	r Poor	Significant (Explain):
			-
5. Contraction:	X Good Fa	ir Poor	Significant (Explain):

b. Portion Showing Distress (Note: Beams, Columns, Structural Walls, Floor, Roofs, Other):
No beams, columns, structural walls, or floors were noted to be under visible distress upon inspection.
c. Surface Conditions – Describe General Conditions of Finishes, (Noting Cracking, Spalling, Peeling, Signs of Moisture
Penetration, and Strains): Surfaces are in good overall condition, consisting of decorative stucco with a painted finish.
ourraces are in good overall condition, consisting of decorative staces with a painted limish.
 d. Cracks – Note the Location of Significant Members. Identify crack size as HAIRLINE if barely discernible; FINE if less than 1mm in width; MEDIUM if between 1mm and 2mm in width; WIDE if over 2mm:
No discernible cracks noted on significant structural members.
e. General Extent of Deterioration – Cracking or Spalling Concrete or Masonry, Oxidation of Metals; Rot or Borer Attack in Wood:
c. Scheral Extent of Deterioration Stacking of Spanning Soficies of Masoniny, Schaation of Metals, Not of Borel Attack in Wood.
General Condition is good. No visual cracking or spalling of concrete or masonry, oxidation of metals,
rot or borer attack in wood was noted at the time of inspection and should be maintained routinely.
f. Note Previous Patching or Repairs:
No significant previous patching or repairs were identified.
The significant provided patering of repairs trees factioned.
g. Nature of Present Loading Indicate Residential, Commercial, and Other Estimated Magnitude:
A review of the prior SFBC and recent FBC indicates that the Uniform Live Load is 30 PSF for the roof
and 40 PSF for the floors. The building as configured appears to meet these load requirements.
3. INSPECTIONS

a. Date of Notice of Required Inspection: 7/22/2024

Date(s) of Actual Inspection: 12/13/2024

c. Name and Qualifications of the Individual Preparing Report:
James Hanskat, P.E. Professional Engineer, Florida Registration # 49801
Froiessional Engineer, Florida Negistration # 4900 i
d. Description of Laboratory or Other Formal Testing, if required, rather than Manual or Visual Procedures:
Visual inspection procedures were sufficient for this Inspection.
e. Structural Repairs:
No repairs are required
f. Has the Property Record been Researched for any Current Code Violations or Unsafe Structure X Yes No Cases?
Explanation/Comments:
The City of Deerfield Beach Building Department website was reviewed and it appears that no violations or unsafe structure cases were identified that would impact the structural integrity of the building at the time of the inquiry.
4. SUPPORTING DATA ATTACHED
a. Sheets of Written Data: Not deemed necessary.
. D Attached
b. Photographs: Attached.
c. Drawings or Sketches: Not deemed necessary.
d. Test Reports: Not deemed necessary.
F FOUNDATION

5. FOUNDATION

a. Describe Building Foundation:

The reinforced concrete vertical structure is reinforced concrete slabs on grade (SOG) construction. The exterior walls are supported by reinforced concrete continuos footings.

b. Describe any Cracks or Separation in the Walls, Columns or Beams that Signal Differential Settlement: No discernible cracks or separation in the walls, columns, or beams that signal differential settlement were identified.		
	Is there Additional Sub-Soil Investigation Required? 1. If yes, explain:	Yes X No
6. MASC	ONRY BEARING WALL – Indicate Good, Fair or	Poor on Appropriate Lines
,	a. Concrete Masonry Units:	Good Fair Poor
	b. Clay Tile or Cotta Units: N/A	Good Fair Poor
(c. Reinforced Concrete Tie Columns:	Good Fair Poor
1	d. Reinforced Concrete Tie Beams:	Good Fair Poor
(e. Lintel:	Good Fair Poor
1	f. Other Type Bond Beams: N/A	Good Fair Poor
g.	. Masonry Finishes – Exterior:	
	 Stucco: Veneer: N/A 	Good Fair Poor
	3. Paint Only:	Good Fair Poor
	4. Other: N/A	Good Fair Poor
N/A	4a. Explain:	

h. Cracks – Describe Beams, Columns, or Others, Including Locations: No discernible cracking was noted on beams or columns.
i. Spalling – Describe Beams, Columns, or Others, Including Locations: No discernible spalling identified on beams or columns.
j. Rebar Corrosion – Check Appropriate Line: 1. X None Visible 2. Minor – Patching Will Suffice 3. Significant – Patching Will Suffice 4. Significant – Structural Repairs Required 4a. Describe: N/A
 k. Were Samples Chipped Out for Examination in Spalled Areas? 1. X No 2. Yes – Describe Color, Texture, Aggregate, and General Quality:

7. FLOOR AND ROOF SYSTEM
a. Roof:
1. Describe the Type and Condition of the Current Roof: The low sloped flat roof is constructed of reinforced concrete and is finished with built-up roofing materials (BUR) and has a modified bitumen roof covering with silicone spray foam. Noted to be in good condition. No significant leaks were identified and any issues should be addressed as a part of routine maintenance.
 Note Water Tanks, Cooling Towers, Air Conditioning Equipment, Signs, Other Heavy Equipment and Condition of Support: Typical split system condenser units mounted on elevated metal stands. Noted to be in good condition.
3. Note Types of Drains, Scuppers, and Condition: The low sloped flat roof is pitched to the roof drains and the run-off is mitigated by scuppers and downspouts. Roof drains, scuppers, downspouts and drainage were noted to be in good condition.
4. Describe Parapet Construction and Current Condition: N/A
Describe Mansard Construction and Current Condition: N/A

6. Describe any Roofing Framing Member with Obvious Overloading, Overstress, Deterioration, or Excessive Deflection:
No roof framing members were noted to show obvious overloading, overstress, deterioration or excessive deflection.
7. Note any Expansion Joint and Condition:
The building is provided with expansion joints and noted to be in good condition with no evidence of extensive movement observed.
b. Floor System(s):
1. Describe Type of System Framing, Material, Spans, and Condition:
The building is reinforced concrete slab on grade (SOG) construction. The floors above grade are supported by reinforced concrete. Noted to be in good condition.
2. Balconies – Indicate Location, Framing System, Material, and Condition:
The building is provided with reinforced concrete balconies located at the rear of the building. The reinforced concrete balconies were noted to be in good condition.
3. Stairs and Escalators – Indicate Location, Framing System, Material, and Condition:
Exterior reinforced concrete stairwells with concrete railings lead to the upper levels reinforced concrete catwalks with concrete railings. The reinforced stairwells are noted to be in good condition.
4. Ramps – Indicate Location, Framing System, Material, and Condition:
N/A

	uilding is provided with concrete railings/guradrails for the exterior stairwells and catwalks. It to be in good condition.
c.	Inspection:
N/A	Note: Exposed areas available for inspection and where it was found necessary to open ceilings, etc. for inspection of typical framing members.
8. STE	EL FRAMING SYSTEM
a. N/A	Full Description of the System:
b. N/A	Exposed Steel – Describe the Condition of the Paint and Degree of Corrosion:
c. N/A	Steel Connections – Describe Type and Condition:
d. No fir	Concrete or Other Fireproofing – Describe any Cracking or Spalling and Note Where any Covering was Removed for Inspection: eproofing or encased members were identified.

5. Guardrails – Indicate Type, Location, Material and Condition:

 Identify any Steel Framing Member with Obvious Overloading, Overstress, Deterioration, or Excessive Deflection. Provide Location(s):
N/A
f. Elevator Sheave Beams, Connections, and Machine Floor Beams – Note Column:
N/A
9. CONCRETE FRAMING SYSTEM
a. Full Description of the Structural System:
The exterior walls and vertical structural members of the four story building are constructed using precast concrete panels and have a painted stucco finish. The exterior walls are supported by continuous reinforced concrete footings. The buildings foundation is reinforced concrete slab on grade (SOG) construction. Framing system was noted to be in good overall condition and well maintained.
b. Cracking:
1. Significant X Not Significant
Description of Members Affected, Location, and Type of Cracking:
N/A
c. General Condition: Concrete framing was noted to be in good general condition.
Concrete training was noted to be in good general condition.

N/A	2. Description of Curtainwall Structural Glazing and Adhesive Sealant:
N/A	3. Describe the Condition of System:
C.	Exterior Doors:
1.	Type (Wood, Steel, Aluminum, Sliding Glass Door, Other):
doors	uilding is provided with wood doors with jalousie window inserts set in wood frames, wood set in wood frames. The patios are provided with aluminum doors with glass inserts set in um frames. Noted to be in good condition.
2.	Anchorage Type and Condition of Fasteners and Latches:
Doors	attached with screws, noted to be in good condition.
3.	Sealant Type and Condition of Sealant:
Due to needed	design and use, sealant is not significant. Windows are sealed at sills with caulking as
4. Good	General Condition:
5.	Describe Repairs Needed:
No rep	airs are needed

11. WC	OOD FRAMING
a.	Type – Fully Describe Mill Construction, Light Construction, Major Spans, and Trusses:
N/A	
b.	Indicate the Condition of the Following:
1.	Walls:
Good	
2.	Floors:
N/A	
,, .	
3.	Roof Member, Roof Trusses:
N/A	
c. Plates	Note Metal Fitting (i.e., Angles, Plates, Bolts, Splint Pintles, Other and Note Condition): s, angles, and bolts in good condition.
riales	s, angles, and boits in good condition.
d.	Joints – Note if Well Fitted and Still Closed:
Joints	are well fitted and still closed.

e. Drainage – Note Accumulations of Moisture: Drainage were noted to be in good overall condition and no accumulations of moisture were identified.
f. Ventilation – Note any Concealed Spaces not Ventilated: N/A
g. Note any Concealed Spaces Opened for Inspection: None
h. Identify any Wood Framing Member with Obvious Overloading, Overstress, Deterioration, or Excessive Deflection: No wood framing members were noted to present obvious overloading, overstress, deterioration, or excessing deflection.
12. BUILDING FAÇADE INSPECTION (Threshold Building)
 a. Identify and Describe the Exterior Walls and Appurtenances on All Sides of the Building (Cladding Type, Corbels, Precast Appliques, etc.): The building facade is finished with a decorative painted stucco finish.
b. Identify the Attachment Type of each Appurtenance Type (Mechanically Attached or Adhered): N/A

C.	Indicate the Condition of each Appurtenance (Distress, Settlement, Splitting, Bulging, Cracking, Loosening of Metal Anchors and Supports, Water Entry, Movement of Lintel or Shelf Angles, or Other Defects):
N/A	
13. SP	ECIAL OR UNUSUAL FEATURES IN THE BUILDING
a.	Identify and Describe any Special or Unusual Features (i.e., Cable Suspended Structure, Tensile Fabric Roof, Large Sculpture, Chimney, Porte-Cochere, Retaining Wall, Seawall, etc.):
N/A	
b.	Indicate the Condition of Special Feature, its Supports, and Connections:
N/A	

ELECTRICAL SAFETY INSPECTION REPORT FORM

Inspect	tion Firm or Individual Name: Property Consulting	g Group, Inc.	
	s: 405 S Federal Highway, Suite 300, Por		33062
	one Number: (954) 946-7763		PHY1. 183
Inspect		nspection Completed Date	12/13/2024
V		ed as Outlined in the Atta	ched Inspection Report
Florida	Licensed Professional:	Architect	MES HANS
Name:	James Hanskat, P.E.		* No. 49801
	Number: 49801		STATE OF
Signatu This repo	ure: ort has been based upon the minimum inspection guidelines for buand Appeals-Policy #05-05. To the best of my knowledge and abit of the structure based upon careful evaluation of observed conditions.	Date: 1/18/25 uilding safety inspection as lity, this report represents an	accurate appraisal of the present
1. DES	CRIPTION OF STRUCTURE		
a. Nar	me on Title: Four Story Residential Condominium Aparti	ment Building with 56 U	nits (Application #: 1026122)
b. Stre	eet Address: Lyndhurst H, Deerfield Beach, FL	33442	
c. Leg	gal Description: Lyndhurst H Condo Unit 1001 P	ER CDO BK/PG: 5	907/1
d. Ow	ner's Name: Lyndhurst H Condominium Assoc	iation, Inc.	
e. Ow	rner's Mailing Address: 2101 Centrepark West Dr.,	Suite 110, West P	alm Beach, FL 33409
f. Em	nail Address: lyndhurst.h@yahoo.com	Contact Number: (6	647) 409-1893
g. Foli	io Number of Property on which Building is Located: 4842-03	-DH-0010	
h. Buil	ilding Code Occupancy Classification: Residential Group	R-2	
i. Pre	esent Use: Residential		
j. Ger	neral Description: Four Story Residential Condominium Building	Type of Construction: III-B	
k. Squ	uare Footage: Approx. 81.600SF (Google)	Number of Stories: 4	

I.	Special Features:
Ν	one

m. Additional Comments:

The building is provided with residential load centers located in the two (2) electrical rooms on the second floor of the building.

2. INSPECTIONS

- a. Date of Notice of Required Inspection: 7/22/2024
- b. Date(s) of Actual Inspection: 12/13/2024
- c. Name and Qualifications of Individual Preparing Report:

James Hanskat, P.E.

Professional Engineer, Florida Registration # 49801

- d. Are any Electrical Repairs Required?
 - 1. X

No - None Required

2.

Yes - Required (Describe Nature of Repairs):

*** NOTE: Provide photographs as necessary to reflect relevant conditions and index appropriately. ***

3. ELECTRIC SERVICE

- a. Size: Voltage ($\underline{120/240}$); Amperage ($\underline{(8)\ 400}$);
- b. Main Service Protection (8-400 Amps): X Fuse Breaker

c. Service Rating Amperage (8-400 Amps):
d. Phase: X Single Phase
e. Condition: X Good Needs Repairs
Describe the Nature of Repairs:
No repairs required.
4. SERVICE EQUIPMENT
a. Clearances: X Good Requires Repair
Describe the Nature of Repairs:
Clearance of service equipment was adequate.
5. ELECTRIC ROOMS
a. Clearances: X Good Requires Repair
Describe the Nature of Repairs:
No repairs required in the electrical rooms.

6. GUTTERS, WIREWAYS, ETC.
a. Location: X Good Requires Repair
Describe the Nature of Repairs:
No repairs required.
b. Taps and Box Fill: X Good Requires Repair
Describe the Nature of Repairs:
No repairs required.
7. ELECTRICAL SWITCHGEAR
a. Panel # ()
b. Panel # ()
c. Panel # ()
d. Panel # ((8) 400A Main X Good Needs Repairs
e. Panel # () Good Needs Repairs
Describe the Nature of Repairs:
No repairs required.

8. BRANCH CIRCUITS
a. Identified: b. Conductors: Yes Good Deteriorated Must Be Identified Must Be Replaced Describe the Nature of Repairs: No repairs required.
9. GROUNDING OF SERVICE
Comments: The services were noted to be bonded to grounding rods.
10. GROUNDING OF EQUIPMENT
X Good Repairs Required
Comments:
No repairs required.

11. SERVICE CONDUITS/RACEWAYS
X Good Repairs Required
Comments:
Service conduits and raceways were noted to be in good condition.
12. SERVICE CONDUCTOR AND CABLES
X Good Repairs Required
Comments:
Service conductors and cables were noted to be in good condition.
13. GENERAL CONDUIT/RACEWAYS
X Good Repairs Required
Comments:
General conduits and raceways were noted to be in good condition.

14. FEEDER CONDUCTORS
X Good Repairs Required
Comments:
Feeder conductors noted to be in good condition.
15. BUSWAYS
a. Location: X Good Repairs Required
Describe the Nature of Repairs:
No repairs required.
16. OTHER CONDUCTORS
X Good Repairs Required
Comments:
N/A
17. EMERGENCY LIGHTING
Good Repairs Required
Comments:
Comments:
Comments:

18. BUILDING EGRESS ILLUMINATION
X Good Repairs Required
Comments:
All egress Illumination inspected appears to be in serviceable condition.
19. FIRE ALARM SYSTEM
X Good Repairs Required
Commonter
Comments: Fire alarm system was noted to be in good condition.
The diam system was noted to be in good condition.
20. SMOKE DETECTORS
20. SMOKE DETECTORS X Good Repairs Required
X Good Repairs Required
X Good Repairs Required Comments:
X Good Repairs Required Comments:
Comments: Hard wired or battery operated smoke detectors located in dwelling units.
X Good Repairs Required Comments:
Comments: Hard wired or battery operated smoke detectors located in dwelling units.
Comments: Hard wired or battery operated smoke detectors located in dwelling units. 21. EXIT LIGHTS
Comments: Hard wired or battery operated smoke detectors located in dwelling units. 21. EXIT LIGHTS X Good Repairs Required Repairs Required
Comments: Hard wired or battery operated smoke detectors located in dwelling units. 21. EXIT LIGHTS X Good Repairs Required Repairs Required Comments:
Comments: Hard wired or battery operated smoke detectors located in dwelling units. 21. EXIT LIGHTS X Good Repairs Required Repairs Required Comments:

22. EMERGENCY POWER SYSTEMS
Good Repairs Required
Comments:
N/A
23. WIRING AND CONDUIT AT ALL PARKING LOTS AND GARAGES
X Good Repairs Required
Comments:
Wiring and conduit at parking lots were noted to be in good condition.
Willing and bendant at parking lots were noted to be in good condition.
24. SWIMMING POOL WIRING
Good Repairs Required
Comments:
N/A
25. WIRING TO MECHANICAL EQUIPMENT
X Good Repairs Required
The second of th
Comments:
Comments:

Structural Photolog



Aerial View of Property



Aerial View of Property Line
Property Consulting Group, Inc.



Building Elevation (North)



Building Elevation (South)

Property Consulting Group, Inc.



Building Elevation (East)



Building Elevation (West)

Property Consulting Group, Inc.



2. Present Condition of Overall Structure



2.c. View of Surface ConditionsProperty Consulting Group, Inc.



5. Building Foundation - Uniformity



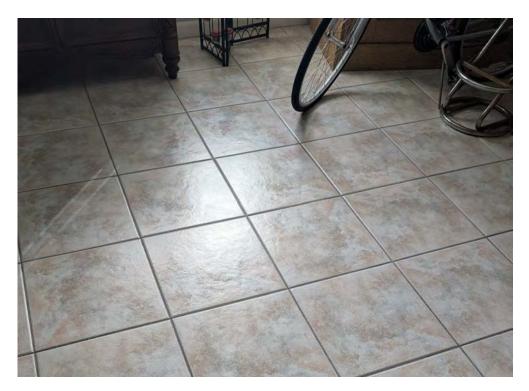
7.a.1. Type & Condition of the Current Roof
Property Consulting Group, Inc.



7.a.2. View of Air Conditioning Equipment/Other:



7.a.3. View of Roof Drains, ScuppersProperty Consulting Group, Inc.

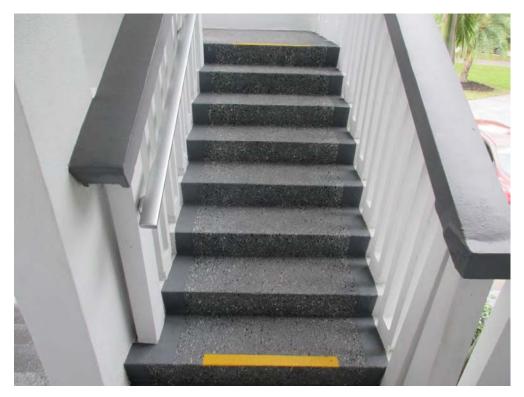


7.b.1. Type & Condition Floor System(s)

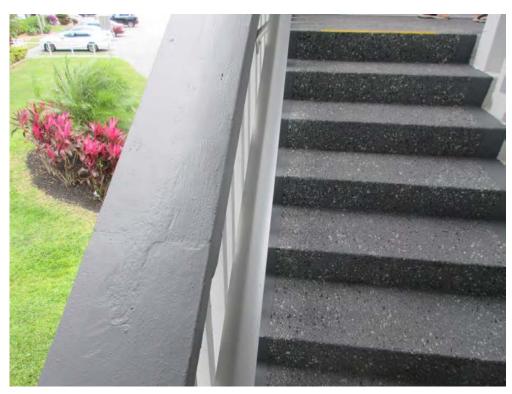


7.b.2. View of Balconies

Property Consulting Group, Inc.



7.b.3. View of Stairs & Landings



7.b.5. View of Guardrails & Handrails Property Consulting Group, Inc.



10.a. View of Windows



10.c.1. View of Exterior DoorsProperty Consulting Group, Inc.



11.d. View of Joints/Seams



11.f. View of VentilationProperty Consulting Group, Inc.



Aerial View of Property



Aerial View of Property Line
Property Consulting Group, Inc.



3. View of Electrical Services



4. View of Service EquipmentProperty Consulting Group, Inc.



5. View of Electrical Room



5. View of Electrical RoomProperty Consulting Group, Inc.



7. View of Electrical Switchgear



8. View of Electrical Panel
Property Consulting Group, Inc.



9. View of Grounding of Service



11. View of Service Conductors/Raceways

Property Consulting Group, Inc.



11. View of Service Conductors/Raceways



13. View of General Conduit/Raceways
Property Consulting Group, Inc.



18. View of Building Egress Illumination



20. View of Smoke DetectorsProperty Consulting Group, Inc.



20. View of Smoke Detectors



21. View of Exit LightsProperty Consulting Group, Inc.